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Strategic Infrastructure, Planning & Construction

DATE: July 7, 2025

TO: Potential Respondents

FROM: Carrie Stoeckert—Construction Contract Expeditor III

SUBJECT: Questions #1
RFCSP752-25-1012CS
Kerr Dining Hall Renovation

Questions

1. Please provide the full project manual. It was not included in the RFP.

UNT has provided a consolidated version of the Project Manual in located at the following site: [Bid Opportunities](#)

2. There are multiple documents missing from the RFP. Please see the highlighted list below. Please provide these documents.

UNT has provided a consolidated set of drawings located at the following site: [Bid Opportunities](#)

SHEET INDEX

GENERAL	PLUMBING
G000 COVER	IP0201B LEVEL 1 DEMO PLUMBING PLAN - DINING
G001 SITE VICINITY MAP, PROJECT TEAM, & SHEET INDEX	IP001 PLUMBING NOTES & SYMBOLS
G002 GENERAL NOTES & ABBREVIATIONS	IP002 PLUMBING FIXTURE SCHEDULE
G003 TYPICAL MOUNTING & ACCESSIBILITY REQUIREMENTS	IP011 PLUMBING SPECIFICATIONS
G004 PARTITION TYPES, DETAILS, & NOTES	IP200B UNDERFLOOR PLUMBING PLAN - DINING
G005 OVERALL 3D VIEW	IP201B LEVEL 1 PLUMBING PLAN - DINING
G101 CODE SUMMARY	IP301B PLUMBING ENLARGED PLAN
	IP302B PLUMBING ENLARGED PLAN
	IP303B PLUMBING ENLARGED PLANS AND RISERS
	IP401 PLUMBING RISERS
	IP501 PLUMBING DETAILS
	IP502 PLUMBING DETAILS
	IP601 PLUMBING SCHEDULES
	IP0201B LEVEL 1 DEMO PLUMBING PLAN - DINING
ARCHITECTURAL	ELECTRICAL
AD101 DEMOLITION PLAN	E001 ELECTRICAL NOTES & SYMBOLS
AD151 DEMOLITION RCP	E002 ELECTRICAL NOTES & SYMBOLS
A101 FLOOR PLAN (KITCHEN & DINING)	E201B LEVEL 1 ELECTRICAL PLAN - DINING
A151 REFLECTED CEILING PLAN (KITCHEN & DINING)	E301B LEVEL 1 LIGHTING PLAN - DINING
A401 ENLARGED PLANS & INTERIOR ELEVATIONS	E402 ELECTRICAL ENLARGED PLAN - RESTROOMS (KITCHEN)
A402 ENLARGED PLANS & INTERIOR ELEVATIONS	E403 ELECTRICAL ENLARGED PLAN - KITCHEN
A403 ENLARGED PLANS, INTERIOR ELEVATIONS, & DETAILS	E501 ELECTRICAL ONE-LINE DIAGRAM
A404 ENLARGED PLANS, INTERIOR ELEVATIONS, & DETAILS	E501 ELECTRICAL ONE-LINE DIAGRAM
A405 ENLARGED PLANS, INTERIOR ELEVATIONS, & DETAILS	E601 ELECTRICAL DETAILS - GENERAL
A406 ENLARGED PLANS, INTERIOR ELEVATIONS, & DETAILS	E602 ELECTRICAL DETAILS - GENERAL
A407 ENLARGED PLANS, INTERIOR ELEVATIONS, & DETAILS	E803 ELECTRICAL DETAILS - GROUNDING
A408 INTERIOR ELEVATIONS	E701 ELECTRICAL SCHEDULES
A410 INTERIOR ELEVATIONS, SIGNAGE SCHEDULE, & DETAILS	E702 ELECTRICAL SCHEDULES - KITCHEN
A501 INTERIOR DETAILS	E702 ELECTRICAL SCHEDULES - KITCHEN
A601 DOOR & FRAME SCHEDULE, GLAZING TYPES, LOUVER TYPES, & DETAILS	E803 ELECTRICAL PANEL SCHEDULES - KITCHEN
A700 INTERIOR FINISH LEGEND, SCHEDULE, & DETAILS	
A701 FINISH PLAN	TELECOM
A711 FURNITURE PLAN	T000B TELECOM - INDEX (KITCHEN & DINING)
	T101B TELECOM - FLOOR PLAN (KITCHEN & DINING)
	T151B TELECOM - REFLECTED CEILING PLAN (KITCHEN & DINING)
	T500B TELECOM - DETAILS (KITCHEN & DINING)
	T501B TELECOM - DETAILS (KITCHEN & DINING)
FOOD SERVICE EQUIPMENT	AUDIOVISUAL
QF1 FS GENERAL COORDINATION NOTES	TA000B AUDIOVISUAL - INDEX
QF1.0 FS EQUIPMENT PLAN	TA101B AUDIOVISUAL - FLOOR PLAN (KITCHEN & DINING)
QF1.1 FS FACILITY MODEL	TA101B AUDIOVISUAL - REFLECTED CEILING PLAN (KITCHEN & DINING)
QF1.2 FS EQUIPMENT MODEL	TA500B AUDIOVISUAL - SCHEMATICS
QF1.3 FS SPECIAL CONDITIONS & MECHANICAL PLAN	TA700B AUDIOVISUAL - ELEVATIONS
QF1.4 FS PLUMBING PLAN	
QF1.5 FS ELECTRICAL PLAN	SECURITY
QF1.5.1 FS CONSTRUCTION DETAILS	TY000B SECURITY - INDEX (KITCHEN & DINING)
QF1.6 FS EXHAUST HOODS	TY151B SECURITY - REFLECTED CEILING PLAN (KITCHEN & DINING)
QF1.7 FS EXHAUST HOODS	TY500B SECURITY - DETAILS (KITCHEN & DINING)
QF1.8 FS CONDENSING UNITS	
QF1.9 FS ELEVATIONS	
QF1.10 FS ELEVATIONS	
QF2 FS SECTIONS & DETAILS	
QF2.1 FS DETAILS	
QF2.2 FS DETAILS	
MECHANICAL	
MA201B LEVEL 1 MECHANICAL DEMOLITION PLAN - DINING	
M001 MECHANICAL NOTES & SYMBOLS	
MA201B LEVEL 1 MECHANICAL PLAN - DINING	
MA202 ROOF LEVEL MECHANICAL PLAN	
MA211B LEVEL 1 MECHANICAL PIPING PLAN - DINING	
MA501 MECHANICAL DETAILS - DUCT	
MA502 MECHANICAL DETAILS - PIPE	
MA503 MECHANICAL DETAILS - GREASE EXHAUST	
MA601 MECHANICAL SCHEDULES	
MA701 CONTROLS DETAILS - FANS	
MA702 CONTROLS DETAILS - MAU & FCU	
MA703 CONTROLS DETAILS - CHW AHU SINGLE-ZONE	
MA704 CONTROLS DETAILS - CHW AHU MULTI-ZONE	
MA705 CONTROLS DETAILS - VAV & CO AND GAS DETECTION	

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3. Please indicate on the drawings where the Alternates listed in spec section 012300 are applicable. They are not shown on the floor plans or reflected ceiling plans.

Refer to Addendum 4 for clarification of Alternates.

4. Please provide the product information for the quarry tile (TL-9) indicated in Alternate #2. Spec section 093013-2.02-I indicates TL-9 to be porcelain square floor tile and to refer to sheet A700 for the basis of design. TL-9 is not listed in the finish schedule on sheet A700. Please clarify what type of tile is to be used for TL-9 and provide the basis of design.

TL-9 basis of design is Crossville Color Mingles R001 – Grey Mingle, in a Cross Tread pattern, 12”L x 12”W. Alternate applies in all locations where EP-1 is called for. Sheet 700 has been updated in Addendum 4.

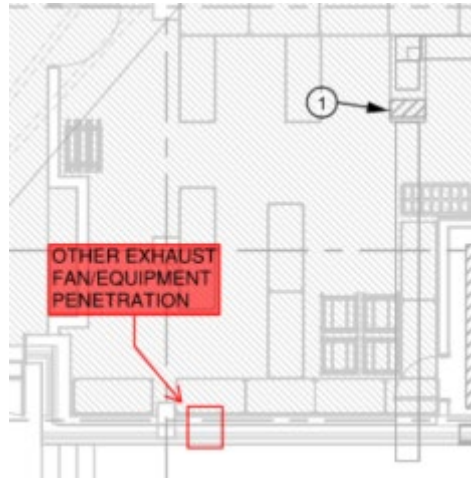
5. Keyed Note 1/iDM201B indicates to demo an existing dishwasher exhaust fan and all associated ductwork and accessories, however, during the site walk on 6/23/25 it was observed that this exhaust fan and the exterior penetration have already been demoed and patched. Another exhaust fan type piece of existing equipment was observed adjacent to this location, please see pictures and drawings below. Please confirm this equipment is to be demoed. If so, please advise if KEF-2 can re-use this existing exterior penetration. If not, please provide an architectural infill detail at the exterior wall at the demoed equipment location.

The existing exterior penetration indicated can be reused by KEF-2 as the indicated equipment has been abandoned in place and is not used in this renovation.



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6. Please provide concrete topping infill details with reinforcement requirements for the slab infill required at the demoed freezer assemblies indicated in demo keyed note 077/AD101 added in Addendum 3.

Reference details on sheet A700.

7. Please provide concrete infill details with reinforcement for the slab infill required at the demoed floor diffusers indicated in RFI #73 response. This detail was not included in any of the addenda.

Reference details on sheet A700.

8. Please provide concrete patching detail at demoed floor drains referenced in RFI #39 response. It was not included in any of the addenda.

Reference details on sheet A700.

9. Please provide concrete patching detail at damaged concrete referenced in RFI #40 response. It was not included in any of the addenda.

Reference details on sheet A700.

10. Keyed note 4/iE201B indicates to provide circuit for the integrally-lit exterior sign at the existing canopy outside of Vestibule C120. During the site walk on 6/26/25, it was observed that the canopy is not attached (see picture below) to the structure of the main building, which would require a direct buried site conduit pathway to supply power to the structure. Additionally, we cannot run the conduit within the existing tube steel without demoing existing foundations. Please provide the site conduit pathway routing and advise if surface mounted conduit is acceptable at the canopy structure.

Direct buried conduit is required from the building to the canopy, fed from panelboard 1A as indicated on sheet iE803. It is acceptable to run surface-mounted conduit on the existing steel structure to supply power to the signage, painted to match the steel.

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a.

11. Detail A6/A601 indicates a new louver to be installed below an existing precast panel. During the site walk on 6/23/25, it was observed that the existing finish at this location appears to be plaster or EFIS in lieu of a precast panel (see picture below). Please provide an updated louver installation detail to accommodate this condition as well as specifications/patching information for the existing plaster/EFIS finish.

All as-built drawings and observation photographs available indicate this to be a precast concrete fascia panel above brick veneer, on CMU. Please proceed with the condition as detailed in A6/A601. If conditions are discovered to be different than the rest of the building exterior during the construction phase, the header condition at the new louver will be updated accordingly.



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12. During the site walk on 6/26/25, an unknown material was observed that at the location the new 4" flue vent piping exterior penetrations are indicated to be installed in keyed note 7/iP201B. Please advise what this material is and provide a penetration detail of the flue vent piping.

This material is a 20 gauge stainless steel sheet. Refer to A510 for penetration detail.



a.

13. Please provide architectural details indicating flashing, waterproofing, and caulking requirements at the TEF-K-1, KEF-1 and KEF-2 exhaust fan penetrations.

Refer to A510 for penetration details.

14. Please confirm that the lockable 2-drawer lateral file and pedestals shown in B1/A407 are provided by the owner. If not, please provide millwork details for the pedestals.

Lockable 2-drawer lateral file and pedestals shown are furniture provided by the owner.

15. Please provide the framing detail and elevation of the west wall of Dish Return A126 at the mail slot tray drop window as indicated in RFI #58 response. These details were not included in the previously issued addenda.

Refer to A6 and B6 on sheet A407.

16. Per spec 081416-1.04-B-1, AWI certification labels are required at wooden doors. Please verify if this is required.

AWI certification labels are not required.

17. Per spec. 064216-1.05-B, calls for participants to be accredited to the AWI's Quality Certification Program. Please verify if this is required.

Accreditation in the AWI Quality Certification Program is not required.

18. Sheet QF1.8 is blurry and illegible. Please provide higher resolution drawings for legibility per RFI #71 response. This sheet was not revised in any addenda.

Sheet QF1.8 has been reprinted and included in Addendum 4.

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19. Please provide construction detail for the beverage counter millwork mentioned in RFI #72 response. This detail was not provided in any addenda.

Refer to E3/A405.

20. Please clarify electrical allowances per iE001 as previously asked during first round of bidding in RFI #77. The updates made to these allowances on sheet iE001 in Addendum 2 do not correlate with the responses given to RFI #77.

Utilize the allowances outlined on Sheet iE001.

21. Per spec. 081700-3.09, at several existing doors, calls for GC and supplier to survey existing doors to order new hardware. Please verify if door hardware will need to be replaced or provide an allowance to replace the door hardware.

Replace door hardware at all new and existing doors in scope.

22. Please provide a specification section including basis of design and model number for VFDs indicated to be installed at existing AHUs in the Existing TAB AHU Information Schedule on sheet iM601.

Spec section 220513 section 2.7.C outlines VFD requirements for the project.

23. Please clarify what abatement has already been performed and what additional abatement is required within the project space. The asbestos log included in the RFP does not indicate what ACM was previously abated during the first demolition/enabling project.

Testing has been completed in the interior and crawl space. There was no detection of abatement being needed in the interior and we will have the crawl space abated.

24. Please confirm the time of completion calendar days response on the proposal form is to be equal to consecutive total days, including weekends, from the written notice to proceed from the Owner to substantial completion.

Yes, it is calendar days.

25. The west wall of Serving Line C121 appears to be furred but is missing a partition tag. Please confirm which partition is required.

The wall referenced is a type "F" furring partition; refer to G004 for partition type designations.

26. RFI #64 response indicated details E2/A403, A4/A403, C3/A407, and C5/A407 were to be clarified in the addendum to show cold formed metal framing between tube steel. However these details were not updated in any of the addenda. Please revise details to show these changes.

Note has been clarified to read: "HSS 3X3X3/16 STEEL TUBE, 36" O.C. MAX, WITH COLD FORM METAL FRAMING INFILL."

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27. RFI #65 response indicated detail A4/A403 would be revised to indicate HSS tube steel required above the HSS at the centerline of the columns. However, this detail was not updated in any of the addenda. Please provide the revised detail.

A note with leaders pointing to the HSS tubes now reads: "CONTINUOUS HSS 3X3X2/16 STEEL TUBE."

28. With Addendum #2 and Addendum #3 from the prior cancelled RFP being issued with the re-bid RFP, do they still need to be acknowledged on the proposal form?

No, all previous revisions have been included with the current RFP posting and are not Addendums to this RFP.

29. Door schedule calls for door A140 to be 3'-0" by 6'-10", while detail B3/A406 calls for a 3' by 7' door. Please verify the correct door size.

The hydroponics enclosure door is 3'-0" x 7'-0" tall as detail B3/A406 indicates. The discrepancy in the door schedule has been corrected.

30. Spec section 102800-2.03-D provides product information for the baby changing station, implying it is to be furnished & installed by the contractor. However, Keynote BC-1 on sheet A401 indicates the baby changing station to be OFOI. Please clarify.

Baby changing stations are contractor-furnished and installed (CFCI).

31. RFI #63 response indicated PT-6 was supposed to be removed from the finish schedule. Sheet A700 was not updated in any of the addenda. Please provide.

PT-6 has been removed from the finish legend on A700.

32. Please advise where electrical panels LA and LL are located and provide panel schedules for them. They are shown on the electrical one-line diagram on sheet iE501 but not shown on the electrical floor plans or the electrical panel schedules on sheet iE803.

Panels are shown on one-line diagram for reference only, providing a summary of the various panels served by existing switchboard MSBB in the building. Panel LL serves the adjacent laundry room and is not utilized in this project. Panel 'LA' is a typo and should actually read '1A.' This typo has been corrected.

33. Please provide the location of the existing fire alarm control panel and confirm the proposed locations of the new FACP and FAAP.

The existing FACP and FAAP for Kerr Hall (the entire building) are located in the adjacent lobby space by the south vestibule. As this project separates the spaces such that the lobby and dining no longer are communicating spaces, a new FACP and FAAP serving the dining room are located in Vestibule A122.1. A separate new FACP serving the kitchen Ansul fire suppression system is located on the rear wall of Kitchen A130.

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34. Who is the existing BAS contractor?

Entech Sales & Service, an authorized partner of Schnieder Electric, is the current BAS contractor for the building.

35. Who provides the furniture shown on A711? If the Contractor, provide specifications.

All furniture is owner-furnished.

36. Confirm that the duration (calendar days) the GC enters on the bid form should include procurement, construction and project punchlist/closeout.

Calendar days is Substantial completion, from date of Notice to Proceed being issued.

37. Please confirm existing deck height.

Floor-to-floor height is approximately 14'.

38. Addendum clarified floor diffusers to be demo'ed and infilled. But existing trunklines in crawlspace are existing and have asbestos based on past phases. Will these be demo'ed by UNT?

Trunk lines are to be abandoned in place as they were in the lobby. Demo and infill floor diffusers.

39. 2 Mop sinks, 2 Sinks, 1 Wall faucet by back door. Are these to be demo'ed?

Mop sinks, sinks, and wall faucets not shown as existing to remain on the drawings should be removed as part of the demolition scope.

40. Plumbing, drains, and electrical to be included in demo within / under all serving stations and countertops?

All associated plumbing, drains, and electrical at current serving stations/countertops is included in the demo scope.

41. Plumbing, drains, and electrical to be demo'ed with tray wash station?

Demo plumbing, drains, and electrical at tray wash station and prep for install of new foodservice equipment.

42. Various plumbing and gas lines penetrating floor around kitchen to be demo'ed? All existing gas / plumbing lines to be removed?

Demo plumbing and gas line penetrations and prep for connections to new foodservice equipment.

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43. No electrical Demo sheet

All panels serving the new space are new with the exception of the main switchboard and DP1A, which is located in the mechanical room. Remove abandoned ceiling and wall elements, including but not limited to ceiling grid, abandoned electrical conduits and light fixtures, and associated work not shown or required to maintain. Refer to General Note 'Q' on sheet AD151.

44. 5 missing electrical panels from demo and Wall that 4 Electrical panels are located in. Picture "Wall and Electrical panels" attached.

All panels serving the new space are new with the exception of the main switchboard and DP1A, which is located in the mechanical room. Remove abandoned ceiling and wall elements, including but not limited to ceiling grid, abandoned electrical conduits and light fixtures, and associated work not shown or required to maintain. Refer to General Note 'Q' on sheet AD151.

45. We have multiple approved installers interested in bidding on this project. We're seeking pre-bid approval as equal to Stonhard StonClad UT Pewter that is identified in the drawings.

As spec section 096519 indicates, Stonhard StonClad UT Pewter is the basis of design intent. All bids will be compared to this standard including resin chemistry, color, wearing surface, thickness, and installation procedures, including number of coats. Products meeting these requirements are approved as equal.

46. I was looking over the plans for the Kerr Dining Hall Renovation and was wondering what the budget is for the project.

We do not disclose the estimated budget for the project.

47. Can you clarify if Stonhard Resinous Flooring is still spec'd in for the areas on drawing A701 with EP-1? The legend on the side of the drawing is showing Kitchen Tile TL-9 for those same areas. The finish legend shows StonHard EP1.

EP-1 is base bid. TL-9 is an alternate. Refer to A700 and A701 for clarification on the scope of work in Alternate #2.

48. Can you please let me know where I can access the bidding documents.

You can access the bidding documents at the following website: [Bid Opportunities](#)

49. Please confirm that the documents for bid on the UNT Bid Opportunities page have been updated with all previous addenda and questions/answers from the previous bid on June 3.

UNT to provide the current bidding documents at the following website: [Bid Opportunities](#)